

|| Shree Ganeshay Namah ||

Project by:



Site:

"Rhythm Bunglows"

Nr. Mangla Green, B/h Uma school,
Tarsali, Vadodara.

Call:

+91 97233 22366 | +91 97233 22365

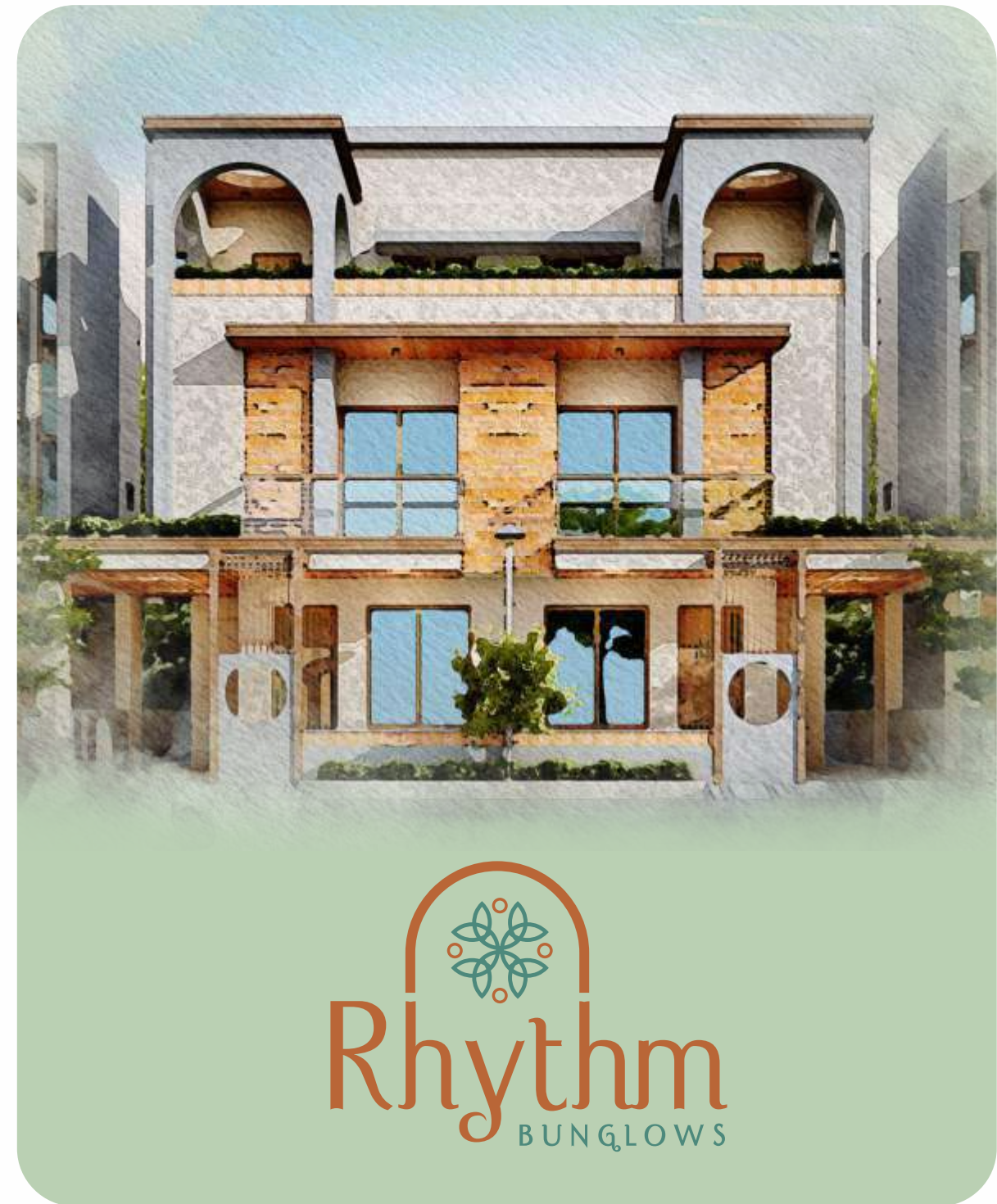
Email:

krishnaminfra3822@gmail.com

Website:

www.rhythmbunglows.com

H_NEST CR_98243_85808



4-BHK LUXURIOUS BUNGLOWS

A Rhythm called Life



Architect:



Architect & Interior Designer

Architect's Note...

We are extremely delighted to present ultra luxury in our newly designed bungalows. These bungalows resemble villas of the world without being as pricey as they could. We've merged gorgeous design with apex utility. Each step within the rhythm takes you to the era of renaissance. Welcome to experience royalty at Rhythm Bungalows.



Project by:



There's a rhythm to everything. You have searched for rhythm in the smallest of things, be it happiness, be it relationships, be it growth and prosperity. Krishnam Infra brings luxurious amenity inclusive of every single aspect that makes you fall in love with your choice of home. Discover Rhythm Bungalows today!

A Rhythm of Grand Entrance.



*Designed for
Intricately
Rich Living*

Modern design infused with classic brick outer facades to give a larger than life living in each of the beautifully arranged bungalows. Feel proud with your choice.

63 LUXURY
TRIPLEX
BUNGLOWS



A Sight of Grandeur and Royalty





A Look with Pride

When you pass by your beautiful abode, be surely mesmerized by the seamless architecture of your Bungalow. Be amused at the classical masterpiece at Rhythm Bungalows!

Layout plan



Area table
Area in Sq.Ft.

PLOT NO.	PLOT TYPE	PLOT AREA	PLOT NO.	PLOT TYPE	PLOT AREA	PLOT NO.	PLOT TYPE	PLOT AREA	PLOT NO.	PLOT TYPE	PLOT AREA	PLOT NO.	PLOT TYPE	PLOT AREA
01	B	852	07 to 09	A	819	20	B	1014	31	B	1048	42 to 44	A	841
02	B	869	10	B	968	21	B	1034	32 to 34	A	819	45	C	1064
03	B	883	11	B	990	22 to 24	A	819	35 & 36	C	1037	46	B	935
04	B	898	12 to 14	A	819	25 & 26	C	1037	37 to 39	A	819	47 to 62	B	840
05	C	1158	15 & 16	C	1037	27 to 29	A	819	40	B	1029	63	B	1096
06	C	1037	17 to 19	A	819	30	B	1050	41	B	1041			

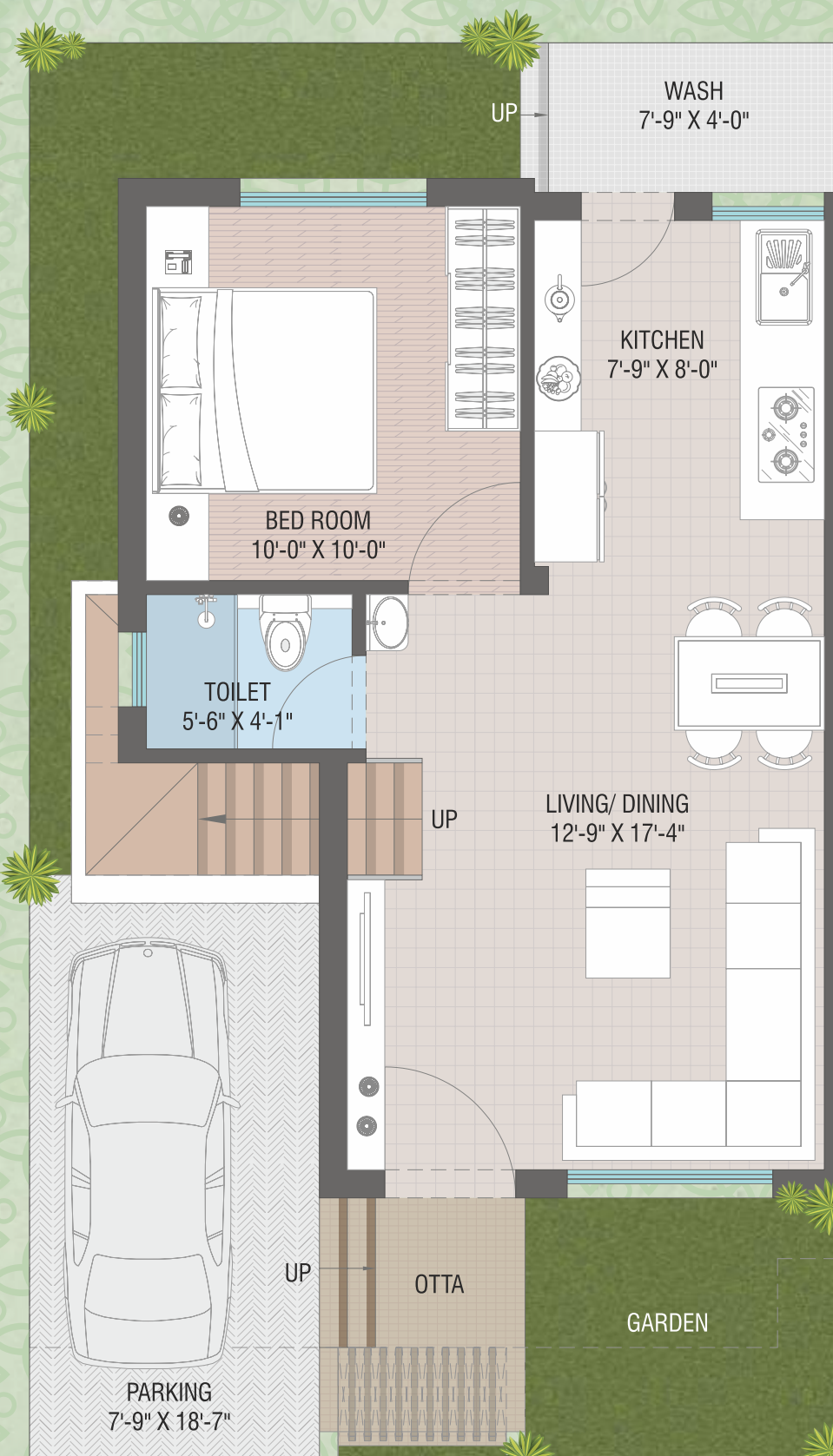


TYPE
A

PLOT NO:

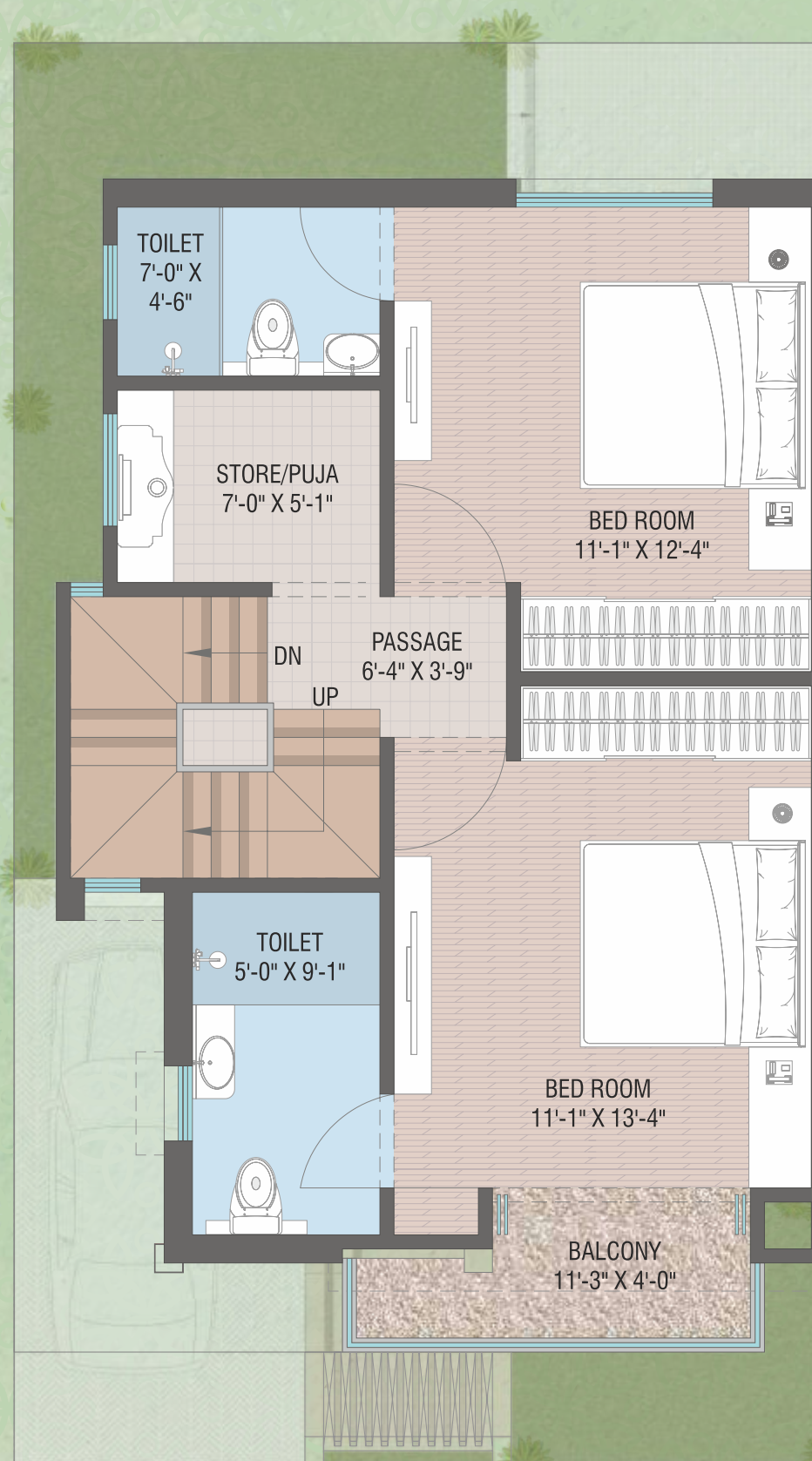
7, 8, 9, - 12, 13, 14
17, 18, 19 - 22, 23, 24
27, 28, 29 - 32, 33, 34
37, 38, 39 - 42, 43, 44

Ground floor



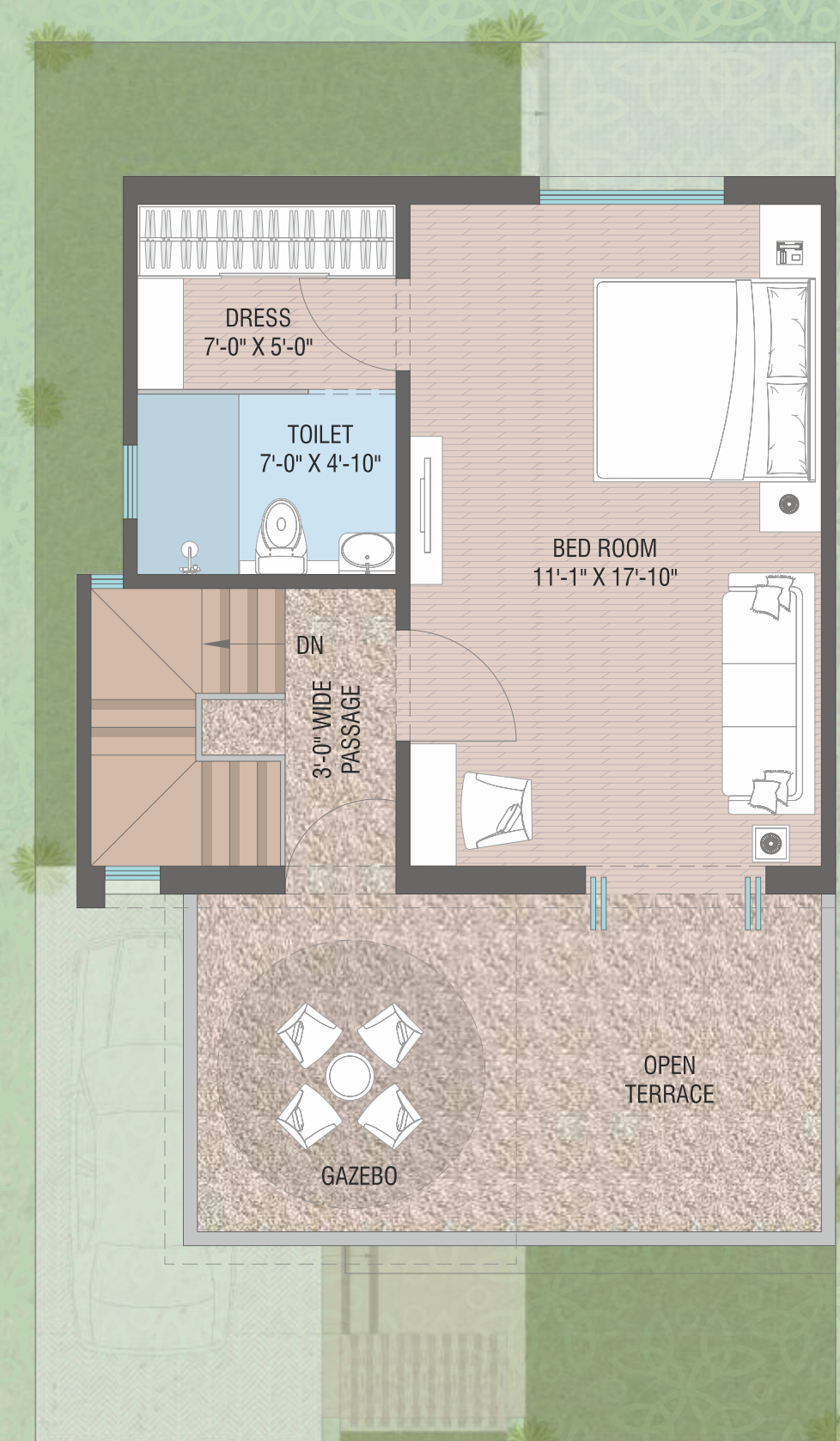
BUILT UP AREA = 490.00 SQ.FT
PLOT AREA = 819.00 SQ.FT.

First floor



BUILT UP AREA = 580.00 SQ.FT

Second floor



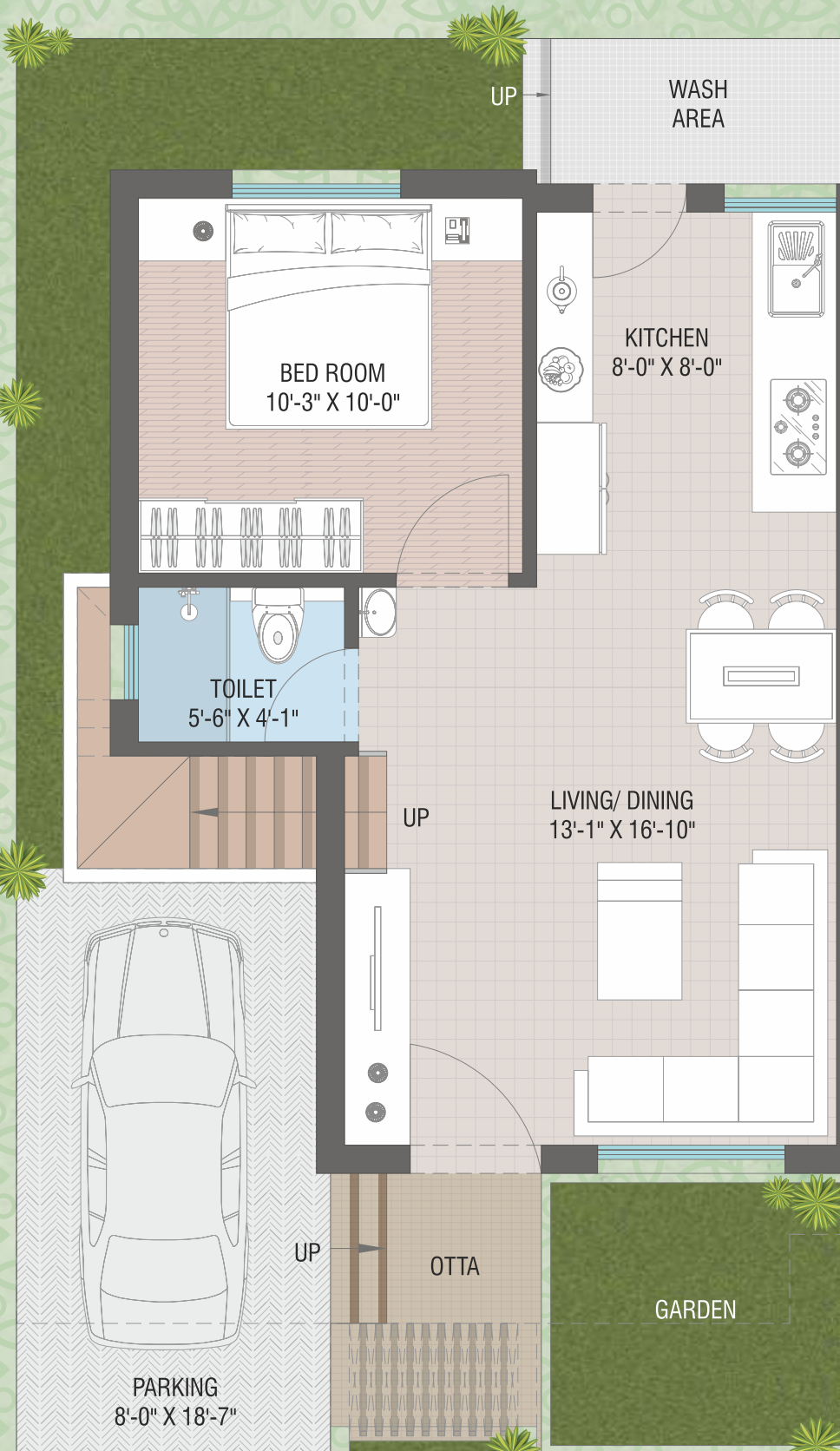
BUILT UP AREA = 390.00 SQ.FT



TYPE
B

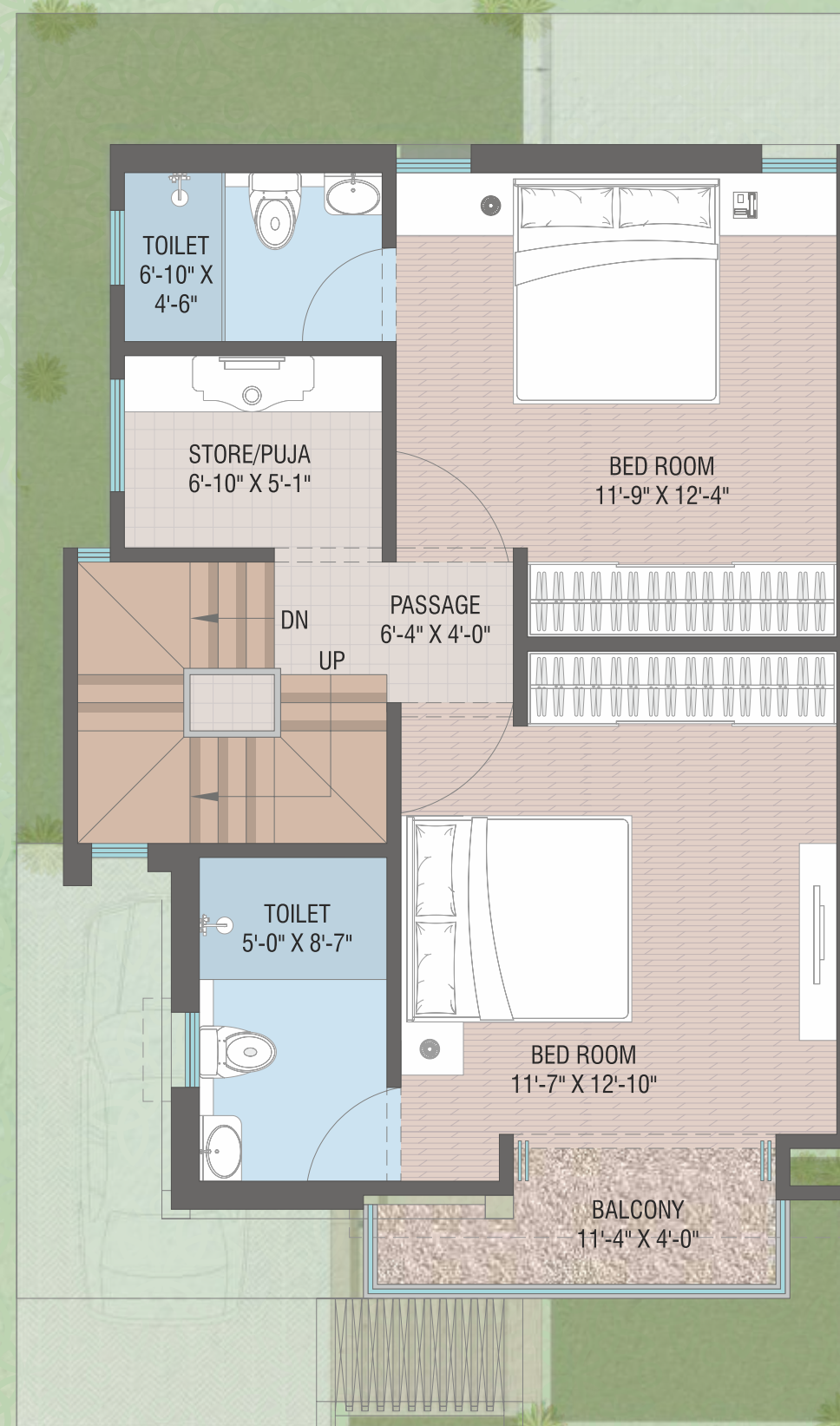
PLOT NO:
1 to 4,
10, 11, 20, 21,
30, 31, 40, 41

Ground floor



BUILT UP AREA = 497.00 SQ.FT
PLOT AREA = 843.00 SQ.FT.

First floor



BUILT UP AREA = 585.00 SQ.FT

Second floor



BUILT UP AREA = 400.00 SQ.FT



TYPE
C

PLOT NO:
5, 6, 15, 16, 25, 26
35, 36, 45

Ground floor



BUILT UP AREA = 532.00 SQ.FT
PLOT AREA = 1037.00 SQ.FT.

First floor



BUILT UP AREA = 595.00 SQ.FT

Second floor



BUILT UP AREA = 390.00 SQ.FT

A perfect mix of Utility & Art

Find a perfect rhythm set to mingle art with utility. Your bungalow at Rhythm is skilfully built to infuse art in utility. For instance look at this huge space right in front of your bungalows.



Elegance that Touches



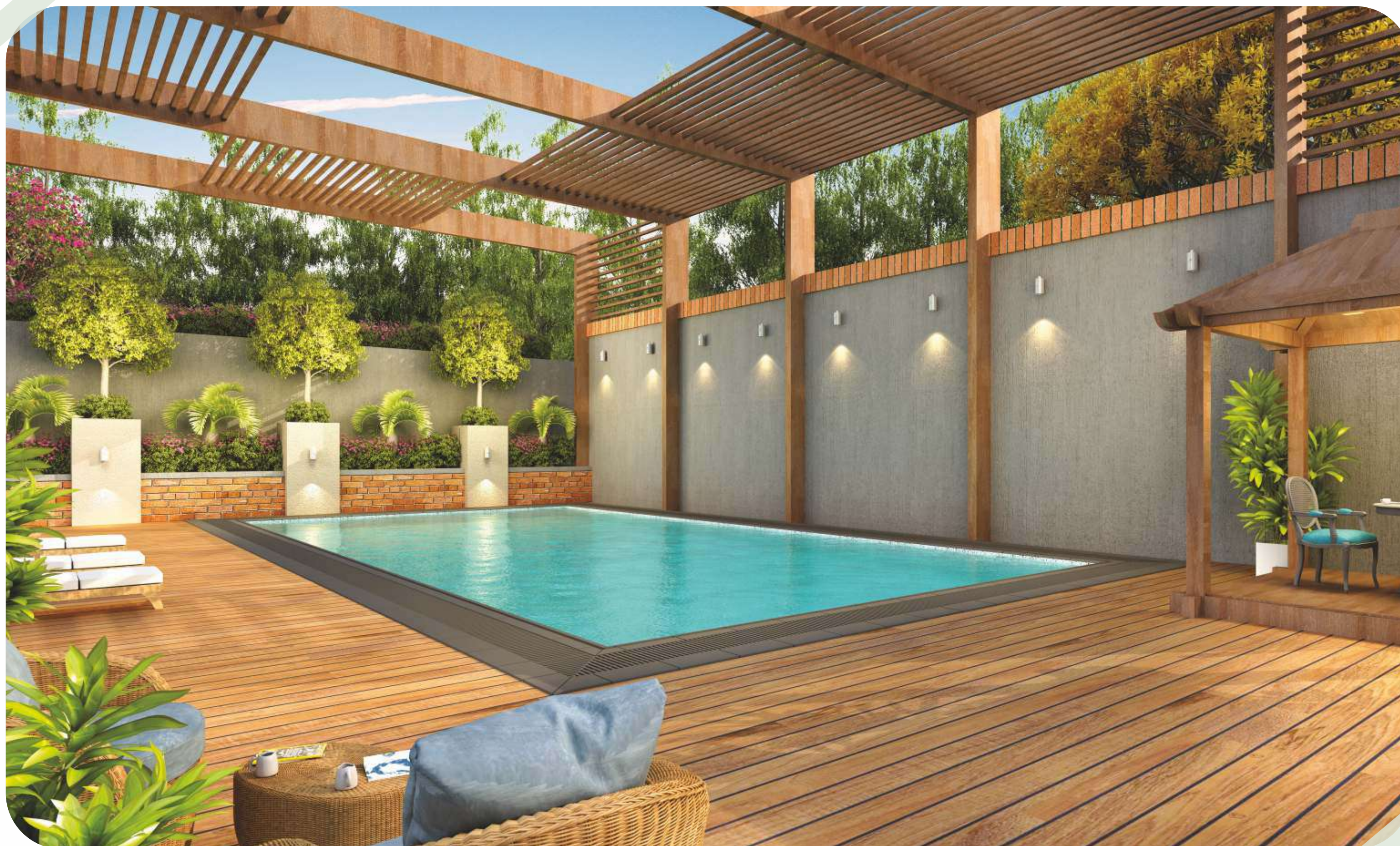


It's Beyond just Living!

At Rhythm Bunglows, you're not in a living space that just provides a space to stay. It is more than that, here you sprawl around in leisure, play your heart out and live the best.

Luxuriate in the Realness of Nature





Amenities

GAZEBO

PARTY LAWN

JOGGING TRACK

SWIMMING POOL

YOGA DECK ON TERRACE

GAZEBO ON TERRACE

SITTING AREA

CHILDREN PLAY AREAS

ACTION TENNIS & BADMINTON

VOLLEY BALL & BASKET BALL

MULTI PURPOSE HALL

HOME THEATRE

Club House Layout



The Club

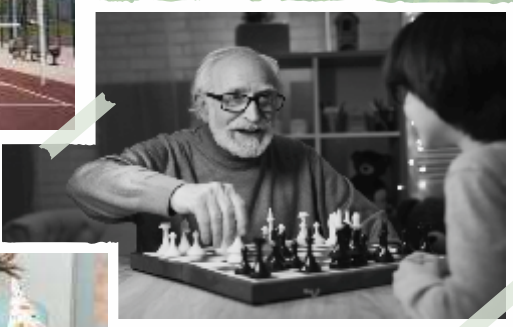
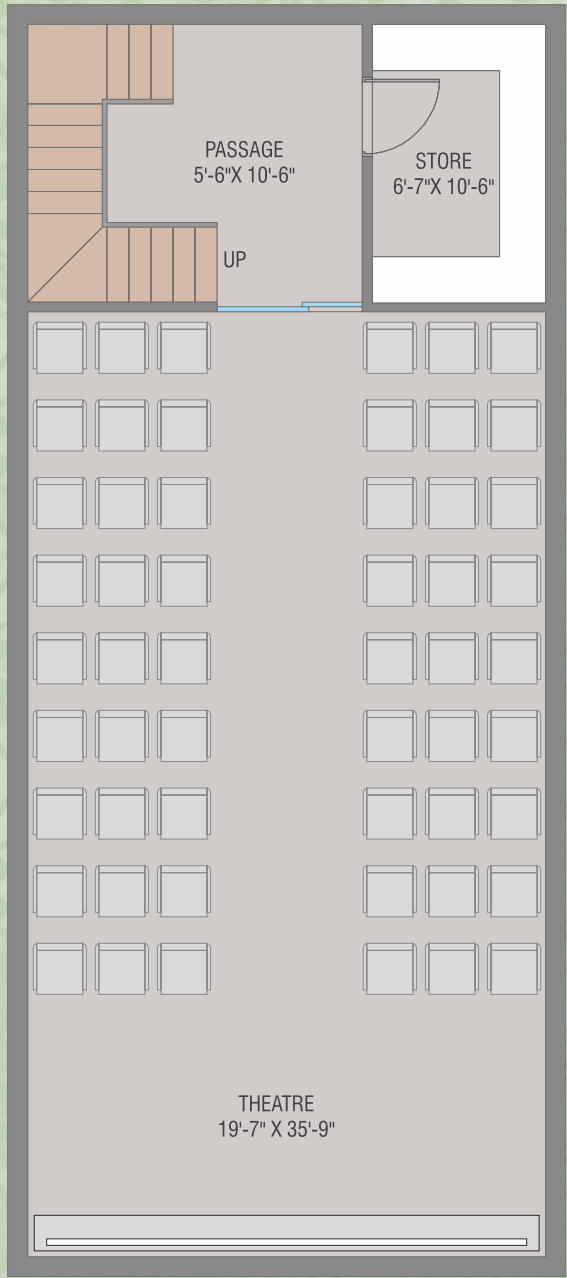
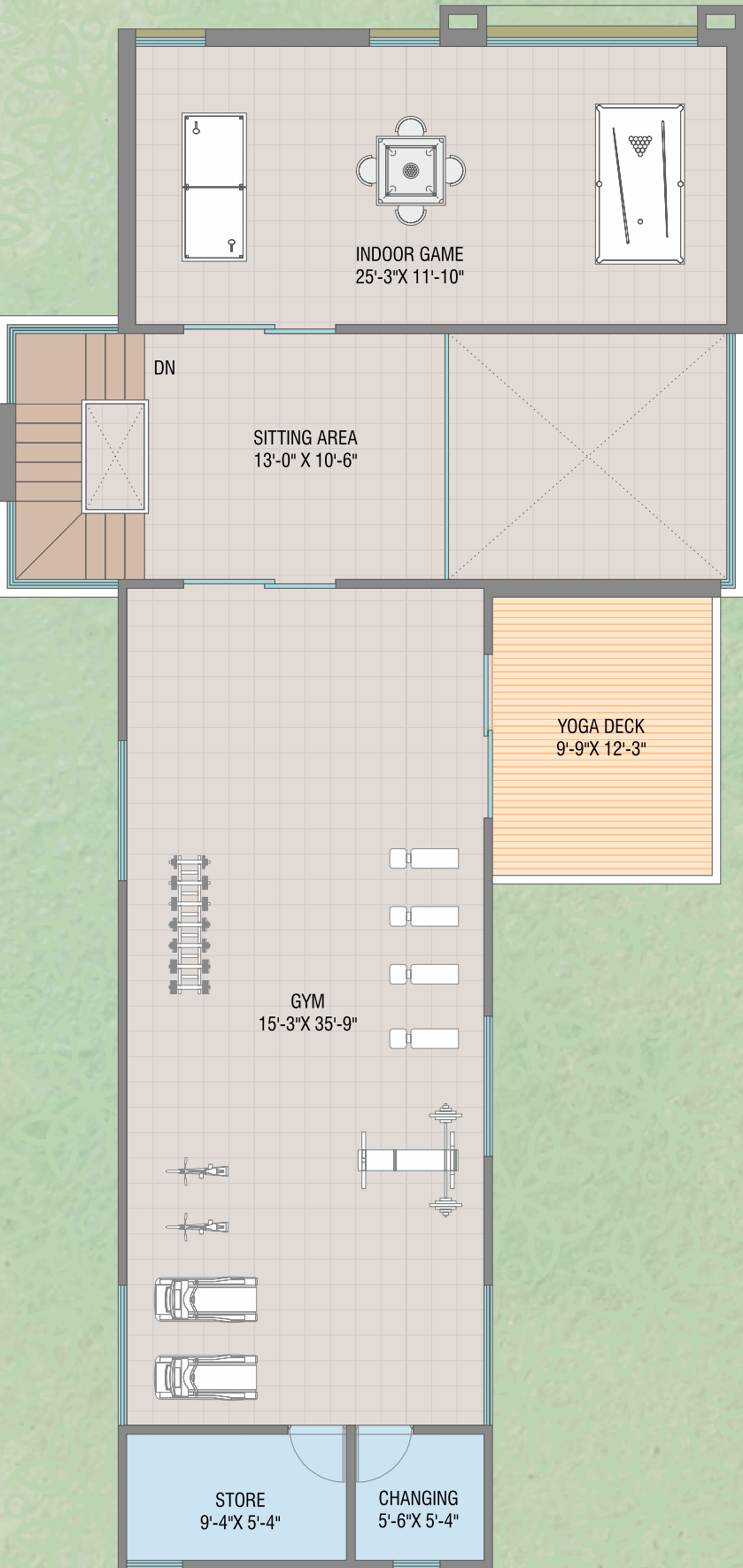


Club House Plan

Ground Floor Plan

First Floor Plan

Basement Floor Plan



Specification



Structure:

- All RCC & Masonry work as per structural Engineer's design.
- Elevation work as per Architect Design.



Finish:

- Internal Walls : Smooth cement plaster.
- External Walls : Double coat plaster.



Flooring:

- 800 x 800 Vitrified Tiles flooring in all rooms.
- Passage area & Stair case with vitrified tiles or Natural Stones.



Kitchen:

- Granite Platform with S.S Sink & designer tiles upto lintel level.
- Wash area with dado tiles & flooring.



Paint:

- Internal Walls : Two coat putty & primer
- External Walls : Weather Proof paint.



Bathrooms:

- Premium ceramic tiles, Branded quality bath fittings and sanitary wares.
- Anti skid floor tiles granite counter with ceramic wash basin.
- Tiles up to beam level in all bathrooms.
- Concealed internal plumbing with hot water points.



Doors & Windows:

- Main door: High quality wooden frame door with veneer paneling on both sides and standard quality safety lock.
- Internal Doors: flush doors with granite frame & both sides decorative laminate.
- Anodized alluminium sliding windows with mosquito net



Electrification:

- Concealed standard quality ISI wiring, MCB/ELCB & branded modular switches with sufficient electrical point.
- Provision for TV & Internet points at convenient locations.
- AC Point with piping in Living room & all Bed rooms



Rhythm
BUNGLOWS

Value Additions

- Anti Termite Treatment in plinth area
- Entire Campus under 24 x 7 CCTV camera surveillance
- Underground & Overhead tank
- Brickbat water proofing treatment and china mosaic on terrace
- Trimix internal roads with street lights, decorative paving and architectural plantation
- 24 hours water supply
- Number plates
- Solar energy rooftop system in club house for common utilities

MODE OF PAYMENT :

15% Booking | 10% Plinth Level | 05% Lintel Level | 10% Ground Floor Slab | 05% Lintel Level
10% First Floor Slab | 05% Lintel Level | 10% Second Floor Slab | 10% Masonry Level | 10% Plaster
Level | 5% Flooring Level | 5% Registration



E-BROCHURE



LOCATION

DISCLAIMER: The following will be charged extra in advance / as per Government norms - (a) Stamp duty and registration charges. (b) GST (actual) or any such additional taxes if applicable in future. • If any new taxes applicable by Central or State Government in future it will be borne by the costumer. • Premium quality materials or equivalent branded products shall be used for all construction work. • Right of any changes in dimensions, design & specifications will be reserved with the developer, which shall be binding for all members. • External changes are strictly not allowed. • MGVCCL meter deposit should be levied separately. • Each member needs to pay maintenance deposits separately. • In case of booking cancellation, amount will be Refunded from the booking of same premises and minimum of rupees 50,000/- will be deducted from the booking amount. • Possession will be given after one month of all settlement of account. • Extra work at the cost of client with prior estimate needs to be given in advance but no change in elevation and plan will be done. • The developer reserve the full right to make any changes. • This brochure does not form a part of agreement or any legal document, It is easy display of project only. • Right of any changes in dimensions, design and Layout, specifications, elevation will be reserved with the developers. • In case of delay in water supply, light connection, drainage work by authority, developers will not be responsible. • Continuous default in payment lead to cancellation of property • Development Charges Extra.

Above project is registred under Gujrera.

Rera Reg. No.:

PR/GJ/VADODARA/VADODARA/Others/ RAA11470/160323

For futher details visit:

www.gujrera.gujarat.gov.in under registered project.

A PROJECT @ VMC LIMIT.

Architect:



Architect & Interior Designer

Structure:



Plumbing And Electrical Consultant:



Technobrain
MEP Consultants