

DEVELOPERS: **MATAJI INFRA**

SITE ADDRESS:
SURAMYA BUNGALOWS
Besides Sumeru Duplex, B/H Sainagar
Vibhag-1, Nr. Khodiyar nagar Char Rasta,
New VIP Road, Vadodara

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ARCHITECT:

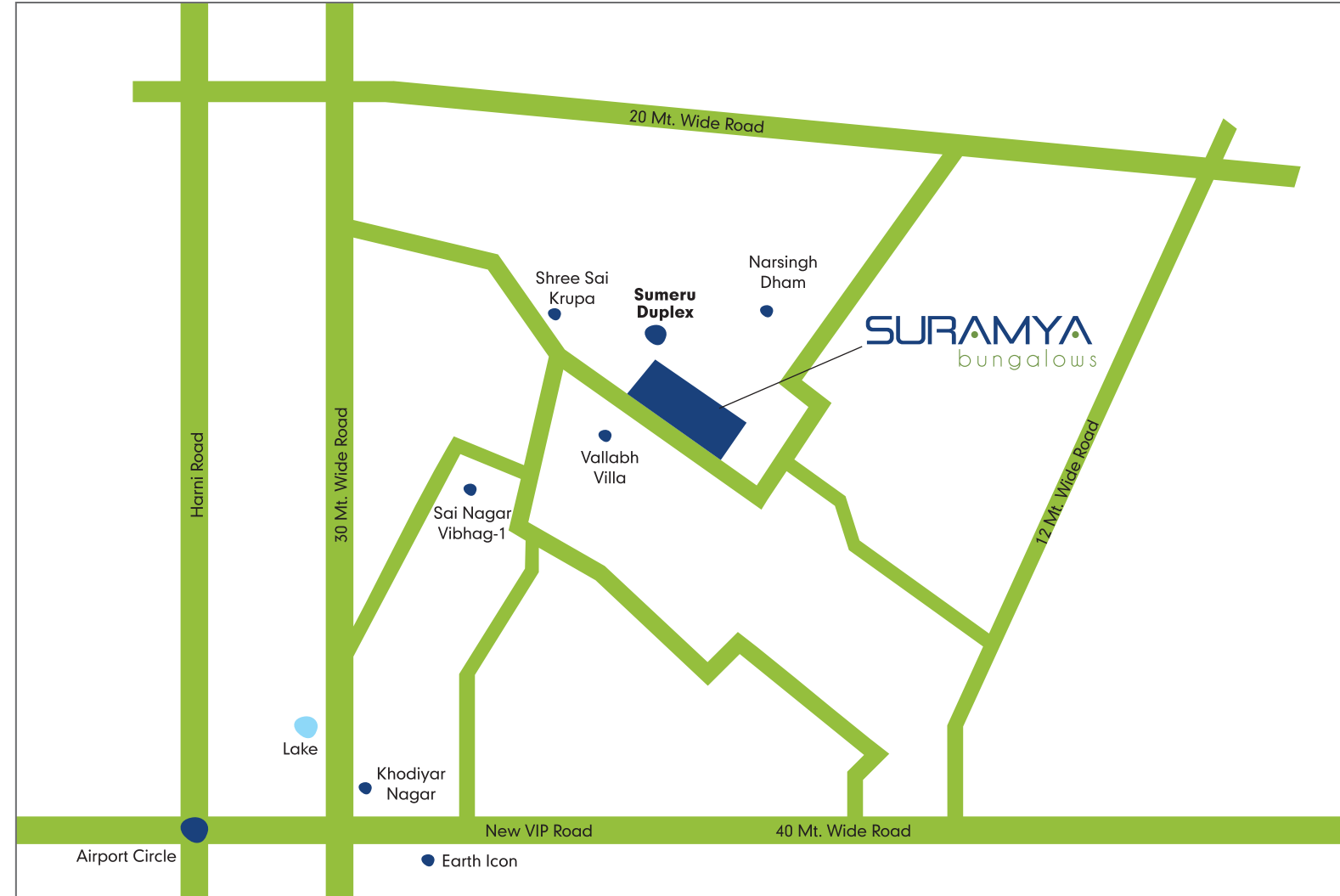


STRUCTURE: **ZARNA ASSOCIATE**

PAYMENT SCHEDULE :

Token Amount: 01 lacs | Booking Amount within 20 days after booking date: 25% | Plinth level: 15% | Ground floor slab level: 15%
First floor slab level: 15% | Plaster level: 15% | Flooring level: 10% | 1 month before taking possession: 05%

Note: 1) Actual possession of the unit shall be handed over to the member within 30 days of the settling of all the accounts and dues. 2) **Sale deed, development charges, stamp duty charges, common maintenance charges, service tax charges, electric charges or deposit of GEB, water and drainage deposit or any charges levied by corporation etc will be extra and borne by the buyers.** 3) Payment schedule must be followed strictly; any delay in payment shall incur interest penalty at the rate of 15% P.A. on outstanding amount. Two installment continuous default in payment shall lead to total cancellation of the unit. 4) **Total amount of the extra work must be deposited in full in advance only then work shall be executed.** 5) Sale deed (Dastavej) to be done after settlement of all accounts. 6) Maintenance deposit per unit must be deposited before 1 month of possession of the unit. 7) In case of cancellation of any unit, an amount of Rs. 50,000/- + amount of extra work (if any), will be deducted towards administrative charges from the refund amount. 8) The refund shall be paid only after the new booking of the booked unit. 9) Actual dimensions may vary as per the site conditions. 10) Developers / architect reserves all the right to change / alter / raise scheme related measurement, design, drawings and price per unit etc and shall be binding to the buyers unconditionally. 11) Buyers are not allowed to do any external change in elevation of the bungalow. 12) Water & drainage to be provided by VMSS, in case of short supply of water members shall manage at their own cost. 13) Any changes in rules by VMSS, town planning bound to each member. 14) This brochure is not a legal document, this is only for presentation of the project. 15) Subject to Vadodara jurisdiction. 16) **VAT & GST or service tax charges should be paid extra.**



SURAMYA
bungalows

4 BHK PREMIUM BUNGALOWS

EXPERIENCE LIVING LIKE NEVER BEFORE

SURAMYA bungalows

Today, a home is more than an expression of tradition and culture. It is unequivocal statement of aspiration and change. It is reflection of people and experiences. It is about interaction and sharing. It is all about a life rarefied by royalty and defined by class.

At Suramya, your home is designed and developed keeping in mind peace and hope. Homes that serve as your private retreats from the strain and stress of daily life.

Suramya Bungalows, from the house of Mataji Infra, are premium villas that facilitate a life that is exclusive, elite, luxurious, and above all.. RARE!

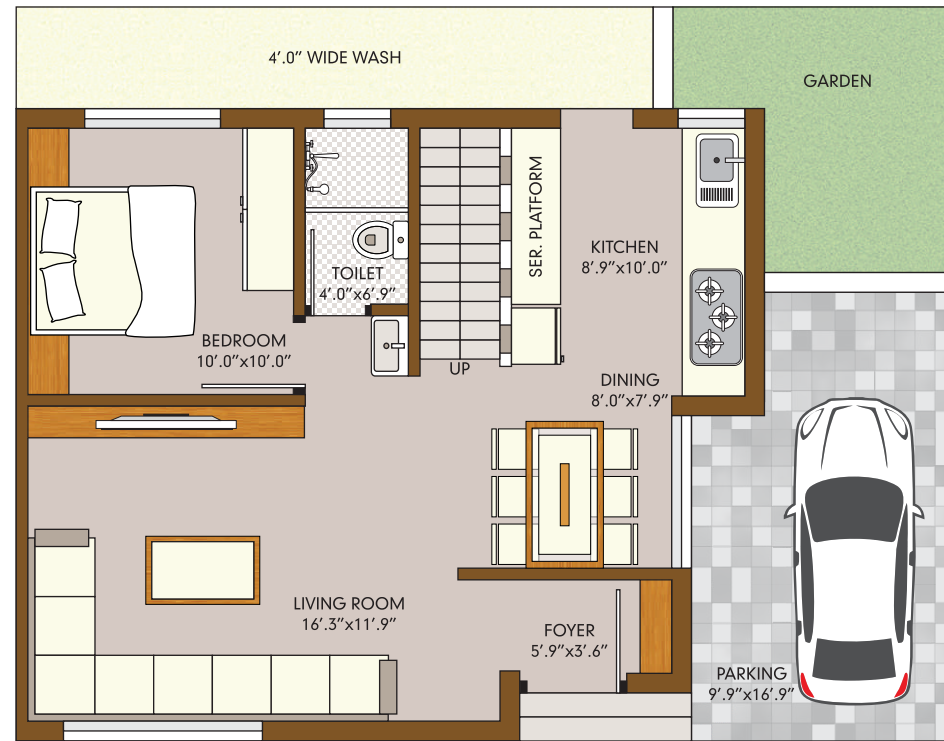


MAJESTIC ENTRANCE



LIFE BLOOMS MAJESTICALLY HERE!

GROUND FLOOR



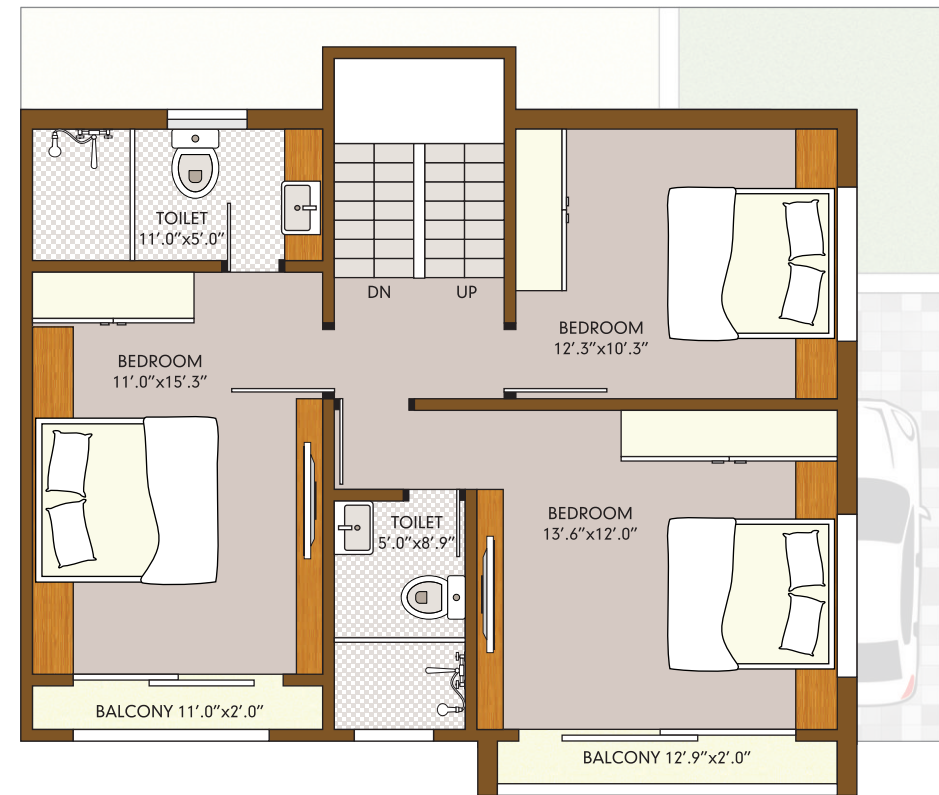
FLOOR PLAN

Plinth Area: 630 Sq. Ft.
S.B.A.: 1750 Sq. Ft.

Carpet Area:
GF: 537 Sq.Ft. +
FF: 678 Sq.Ft. +
Cabin: 82 Sq.Ft =
1297 Sq.Ft

Built Up Area:
GF: 618 Sq.Ft. +
FF: 788 Sq.Ft. +
Cabin: 97 Sq.Ft =
1503 Sq.Ft

FIRST FLOOR





LAYOUT
PLAN

AMENITIES

- ◆ Security cabin.
- ◆ RCC internal roads with street light & decorative paving.
- ◆ Underground cabling for wire free look of campus.
- ◆ Children play area with swings & slides.
- ◆ Green landscaped garden.

UNIQUE AMENITIES OF BUNGALOWS

- ◆ Hot & cold water line in all three bathrooms of bungalow.
- ◆ China mosaic tiles on terrace.
- ◆ RO system in each unit.
- ◆ Termite resistance treatment.
- ◆ Provision for solar system in each unit.

SPECIFICATIONS

STRUCTURE

Fully RCC frame structure as per structural engineer's design

WALL FINISH

External: Smooth plaster with acrylic paint.
Internal: Smooth plaster with putty.

FLOORING

Double charge vitrified tiles flooring in all rooms with skirting.

DOORS

Decorative main door with good quality fittings & internal doors with good quality laminated flush door with standard fitting.

WINDOWS

Fully glazed aluminum anodized windows with safety grill.

KITCHEN

Exclusive granite platform with S.S. sink with designer tiles up to lintel level.

BATHROOM

Ceramic tiles flooring & decorative glazed tiles up to lintel level.

PLUMBING

Concealed plumbing with good quality C.P. fittings & contemporary sanitary wares

ELECTRIFICATION

Concealed wiring of ISI quality with branded modular switches with sufficient points.

WATER TANK

Underground 1500 litre & overhead 1000 litre water tank.

STAIRCASE

Thread granite finish stair case with SS railing.

PARKING

Covered car parking with checkered tiles flooring in basic / minimum plot area.

